

STATE OF MONTANA  
DEPARTMENT OF ENVIRONMENTAL QUALITY  
CERTIFICATE OF SUBDIVISION APPROVAL  
(Section 76-4-101 et seq., MCA)

TO: County Clerk and Recorder  
Flathead County  
Kalispell, Montana

E.Q. #20-1235

THIS IS TO CERTIFY THAT the plans and supplemental information relating to the subdivision known as **Eagle Ridge View Subdivision**

being an Amended Plat of Lots 1 & 2 of Hodge Creek Reserve North located in the NE ¼ of the NW ¼ and in the NW ¼ of the NE ¼ of Section 31, Township 28 North, Range 23 West, PM,M, Flathead County, Montana as found in the records of the Flathead County Clerk & Recorder, consisting of approximately 37.0 acres,

consisting of four (4) lots have been reviewed by personnel of the Water Quality Division, and,

THAT the documents and data required by ARM Chapter 17 Section 36 have been submitted and found to be in compliance therewith, and,

THAT the approval of the Plat is made with the understanding that the following conditions shall be met:

THAT the lot sizes as indicated on the Plat to be filed with the county clerk and recorder will not be further altered without approval, and,

THAT Lots 1, 2, and 3 shall be used for proposed three-bedroom, single-family residences, and,

THAT Lot 4 shall be used for a proposed three-bedroom, single-family residence with an existing garage, and,

THAT when the existing water supply system serving the Lot 4 is in need of extensive repairs or replacement it shall be replaced by a well drilled to a minimum depth of 25 feet constructed in accordance with the criteria established in Title 17, Chapter 36, Sub-Chapters 1, 3, and 6 ARM and the most current standards of the Department of Environmental Quality, and,

THAT the individual water system serving Lots 1, 2, and 3 will consist of a well drilled to a minimum depth of 25 feet constructed in accordance with the criteria established in Title 17, Chapter 36, Sub-Chapters 1, 3, and 6 ARM and the most current standards of the Department of Environmental Quality, and,

THAT data provided indicates an acceptable water source at a depth of approximately 585 feet, and,



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THAT the existing individual sewage treatment system for Lot 4 was approved under EQ #07-3200 dated the 18<sup>th</sup> of October 2007 and permitted under Flathead City-County Health Department septic system permit number 18-8806-N approved the 23<sup>rd</sup> of August 2018, and,

THAT when the existing sewage treatment system serving Lot 4 is in need of extensive repairs or replacement it shall be replaced by a septic tank with effluent filter, dosing tank and subsurface pressure dosed drainfield of such size and description as will comply with Title 17, Chapter 36, Sub-Chapters 1, 3, and 6 ARM and the most current standards of the Department of Environmental Quality, and,

THAT the proposed individual sewage treatment system serving Lots 1, 2, and 3 will consist of a septic tank with effluent filter, dose tank and pressure dosed subsurface drainfield of such size and description as will comply with Title 17, Chapter 36, Sub-Chapters 1, 3, and 6 ARM, and,

THAT the subsurface drainfield shall have an absorption area of sufficient size to provide for an application rate of 0.4 gpd/sf, and,

THAT the replacement drainfield area shall be sized without reduction, and,

THAT the bottom of the drainfield shall be at least four feet above the water table, and,

THAT the stormwater design requires the installation of a minimum of 7,500 square feet of lawn and landscaped area around the structure on each lot to absorb a portion the additional run-off, and,

THAT the stormwater design requires roadside ditches, culverts, and retention ponds be constructed and located on each lot in accordance with the approved plans, and,

THAT the operation and maintenance of water supply, sewage treatment system, and stormwater facilities shall be the responsibility of each/the lot owner, and,

THAT no sewage treatment system shall be constructed within 100 feet of the maximum highwater level of a 100 year flood of any stream, lake, watercourse, or irrigation ditch, nor within 100 feet of any domestic water supply source, and,

THAT water supply systems, sewage treatment systems and storm drainage systems will be located as shown on the approved plans, and,

THAT the developer and/or owner of record shall provide each purchaser of property with a copy of the Plat, approved location of water supply, sewage treatment system and storm drainage



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Eagle Ridge View Subdivision  
Flathead County  
E.Q. #20-1235

structures as shown on the attached lot layout, and a copy of this document, and,  
THAT instruments of transfer for this property shall contain reference to these conditions, and,

THAT plans and specifications for any proposed sewage treatment systems will be reviewed and approved by the county health department and will comply with local regulations and ARM, Title 17, Chapter 36, Subchapters 3 and 9, before construction is started.

THAT departure from any criteria set forth in the approved plans and specifications and Title 17, Chapter 36, Sub-Chapters 1, 3, and 6 ARM when erecting a structure and appurtenant facilities in said subdivision without Department approval, is grounds for injunction by the Department of Environmental Quality.


THAT pursuant to Section 76-4-122 (2)(a), MCA, a person must obtain the approval of both the reviewing authority under Title 76, Chapter 4, MCA, and local board of health officer having jurisdiction, before filing a subdivision plat with the county clerk and recorder.

YOU ARE REQUESTED to record this certificate by attaching it to the Plat filed in your office as required by law.

DATED this 24<sup>th</sup> day of December, 2019.

SHAUN MCGRATH  
DIRECTOR

By:

  
Rachel Clark, PE Supervisor  
Engineering Bureau  
Water Quality Division  
Department of Environmental Quality



Owner's Name: SC Homes LLC, Attn: Joel Silver



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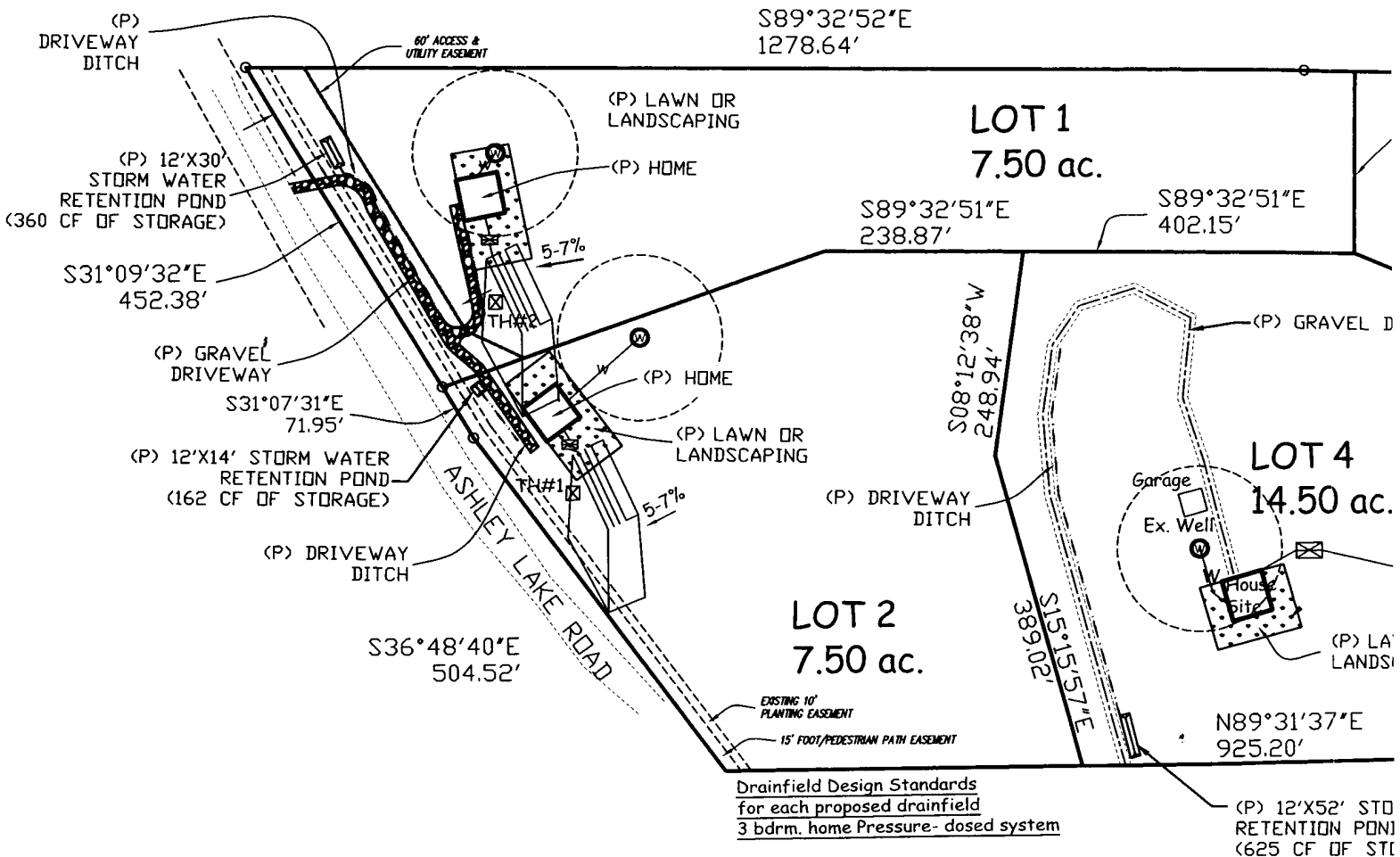
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**Legend**

- ☒ test hole
- ≡≡≡ proposed drainfield site
- ▭ proposed replacement area
- ⊙ proposed well site w/ 100' isolation
- ▵ provisional 100' mixing zone
- ☒ septic tank

**NOTE-**

1. No nearby well or septic systems within 100 ft.
2. 17.36.103(i) No potential contamination sources to well within 500 ft.
3. Homeowners responsible for the maintenance of individual Stormwater Control Devices.
4. Homeowners to maintain check dams, culverts in road right-of-ways
5. Stormwater plans & specifications prepared by 406 Engine
6. Each house foundation to be one foot above natural ground surface,
7. All wells to be constructed per ARM Title 36, Chapter 21, subchapter 6.
8. 7,500 sq. ft (minimum) of landscaping required



Drainfield Design Standards  
for each proposed drainfield  
3 bdrm. home Pressure-dosed system

0.4 gpd/ft<sup>2</sup>- application rate  
291 Lin. ft. x 3' wide trenches=  
3 laterals @ 100 lin. ft. & 7 ft. on center  
1,000 gal. septic tank w/500 gal. pump chamber

(P) 12'x52' STD  
RETENTION POND  
(625 CF OF STC

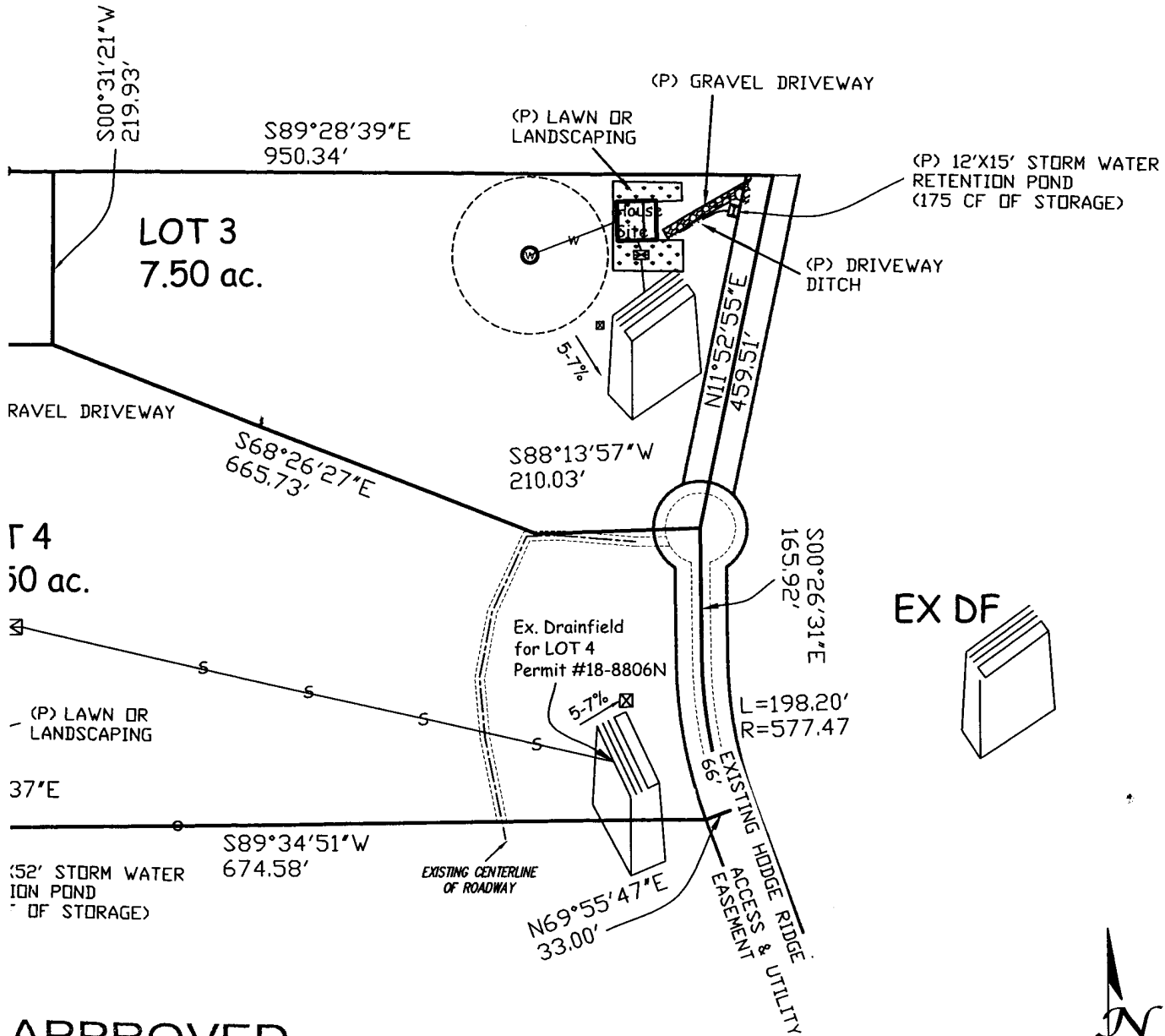
*Enviro-Tech*  
Consulting Inc.  
Brian S. Launius  
PO Box 5674  
Kalispell, MT 59903  
(406)257-2795

**API**  
Montan  
Enviro  
*[Signature]*  
Review  
EQ. #120



Name: Eagle Ridge View Sud.  
 owner- SC Homes (Silver)  
 County: Flathead  
 Location: N1/2 sec.31-T28N-R23W  
 E.Q.# \_\_\_\_\_

5 Engineering of Kalispell.  
 ground



**APPROVED**

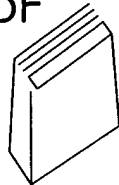
Montana Department of  
 Environmental Quality

*[Signature]* 12/27/19

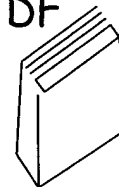
Reviewer Date

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EX DF



EX DF



1"=200'



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FOR MDEQ USE

APPROVAL STAMP

RECEIVED STAMP:

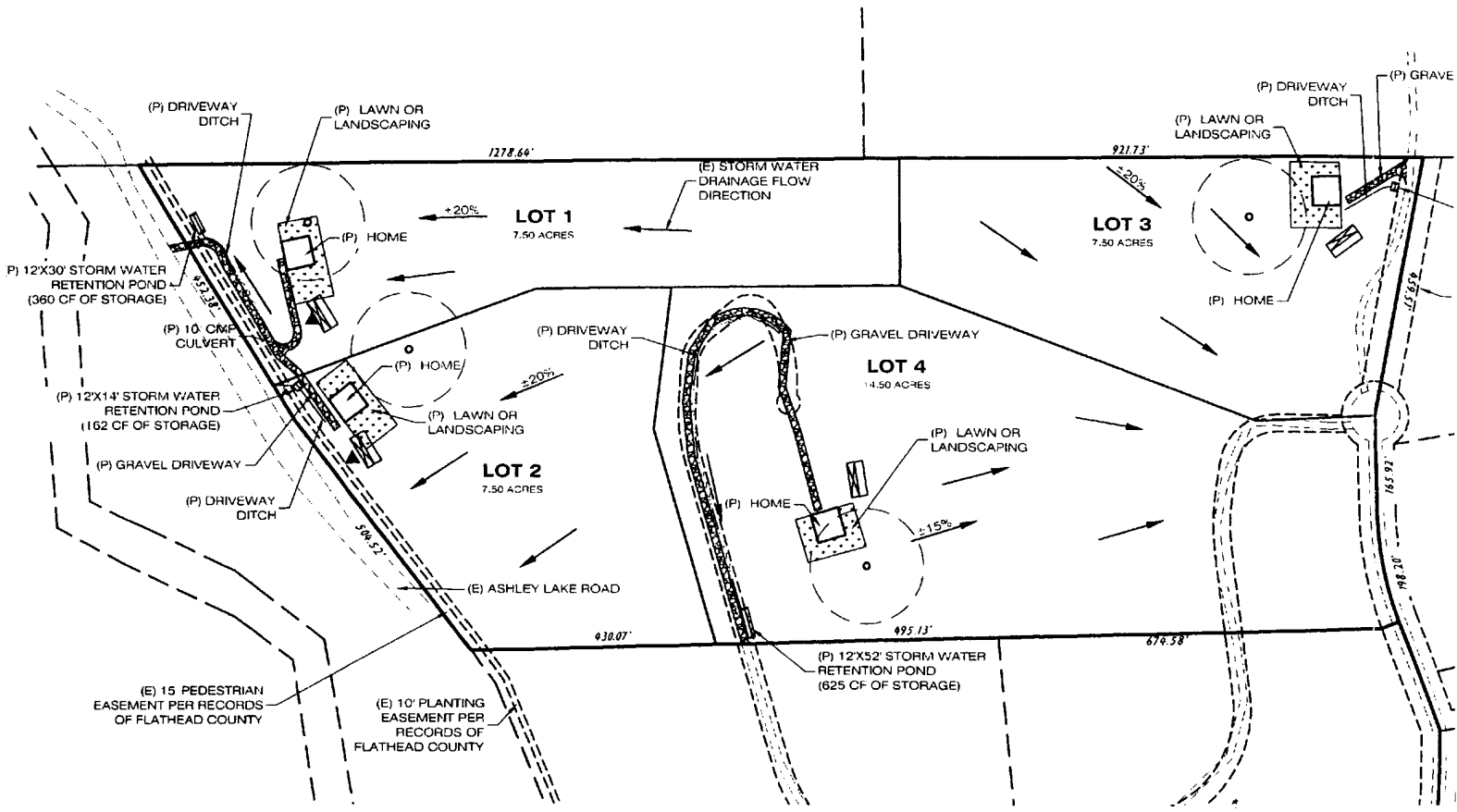
APPROVED

Montana Department of Environmental Quality

Reviewer: *Montana* Date: 12/24/19  
EQ # 20-1235 PAGE 5 OF 5

PROFESSIONAL SEAL

Q #:

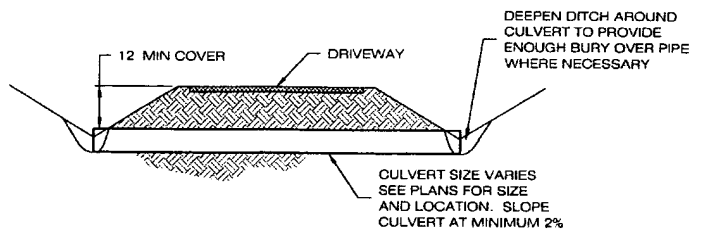
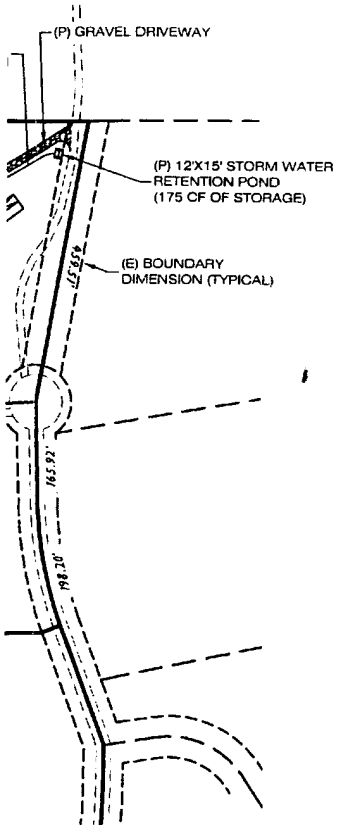
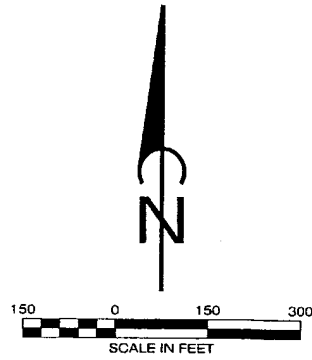
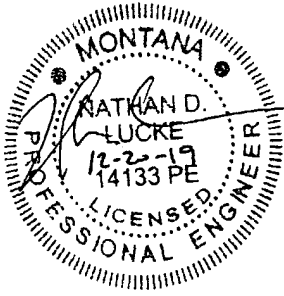


STORM WATER FACILITY OPERATION AND MAINTENANCE PLAN

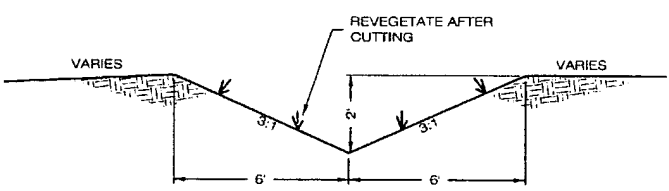
- The entity responsible for the performing the duties described in this Operation and Maintenance Plan shall be the property owner.
- The following facilities are part of this Storm Drainage Plan and must be operated and maintained correctly to mitigate storm water increases in flowrates and volumes created due to the development of this parcel:
  - Lawn and landscaping
  - Roadside ditches
  - Retention ponds
  - Culvert
- The following operation and maintenance plan requirements are duties that shall be performed by the lot owner to ensure proper functioning of the storm water facilities.
  - Generally, The responsible entity should walk the site to look for any signs of storm drainage malfunctioning once a month. Signs of storm drainage malfunctioning include ponding storm water, signs of ponding water such as water stain marks on pavement or vegetative differences due to saturation or potholes in gravel areas; overflow dripping along building gutters. Any signs of potential storm drainage failure should be investigated and fixed.
  - Lawn and landscaped areas shall be maintained in good health to ensure the ground does not become barren, which does not encourage infiltration of storm water into the soils.
  - Roadside ditches should be vegetated to reduce erosion but kept free of debris or other materials that do not allow storm water to flow down the ditch. Roadside ditches should be cleaned of debris every spring and fall or as otherwise needed.
  - Retention ponds should be vegetated to reduce erosion and encourage infiltration of storm water but otherwise should be kept free of debris or other materials that would reduce the capacity of the storm water pond. Storm water ponds should be cleaned every spring and fall or as otherwise needed.
  - Culverts should be kept clean of sediment to allow for passage of storm water. It is common for the outlet of the culvert to build up debris and thus overtime allow for sedimentation inside the culvert. The culvert should be inspected and cleaned every spring and fall or as otherwise needed. Particular attention should be provided to the outlet of the culvert to ensure sediment is cleared and erosion is not occurring. If vegetation does not provide adequate erosion control, then riprap rocks shall be placed below the culvert to reduce storm water flow velocities.
  - Building gutters shall be free of debris allowing building roof runoff to flow into downspouts. Gutters shall be checked for potential blockage in the spring and the fall or more frequently if deemed necessary by the responsible entity.

STORM WATER FACILITY CONSTRUCTION REQUIREMENTS

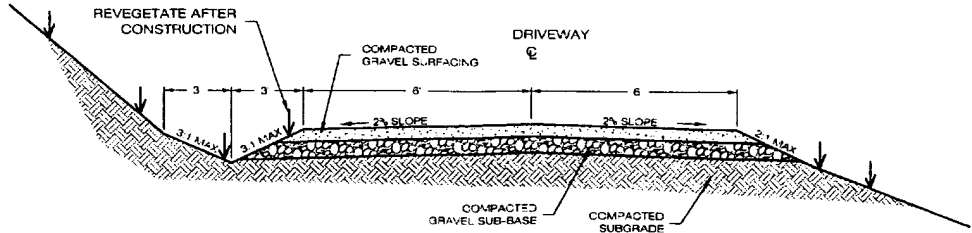
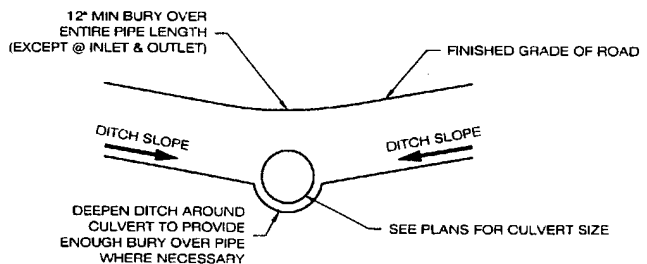
- Construction improvements including gravel areas, paved areas, hardscaped areas, and water drained from these areas to the storm water facilities shown on this plan.
- All disturbed areas shall be revegetated to minimize erosion.
- Retention ponds and roadside ditches shall be revegetated to minimize erosion.
- Home and other structures shall be built per USC and IBC requirements for site grading building or structure at 5% for ten feet. This requirement ensures homes and other structures large storm events including the 100-year storm event.
- The drainfield area shall be constructed in an area that allows for storm water to flow ac. The drainfield shall not be located such that storm water will accumulate overtop of it at events.
- A minimum of 7,500 sf of lawn and landscaping shall be installed around the home. For the lawn areas or other storm water facilities to control storm water.



(1) CULVERT CROSSING UNDER DRIVEWAY NOT TO SCALE



(2) RETENTION POND CROSS SECTION NOT TO SCALE



(3) DRIVEWAY CROSS SECTION NOT TO SCALE

**REQUIREMENTS**  
 Scaped areas, and roof structures shall direct storm water to this plan.  
 to prevent erosion.  
 Plans for site grading including sloping away from the structures and other structures won't be inundated during heavy rain.  
 Runoff water to flow across, over, or around the drainfield. Do not place the driveway or other structures on top of it and inundate it during large storm events.  
 and the home. Roof downspouts shall be directed to the storm water retention pond.

406 Engineering, Inc.  
 905 South Main Street  
 Kalispell, MT 59901  
 (406) 257-0679  
 www.406engineeringINC.com

REVISIONS	DATE

DESIGNED: CL  
 DRAFTED: R  
 CHECKED: ML  
 DATE: 12/20/19

LOCATION: 67 & 89 HODGE RIDGE KILA, MT  
 LOTS 1 & 2 HODGE CREEK RESERVE  
 SEC 31, T28N, R23W, P10M  
 FLATHEAD COUNTY  
 PREPARED FOR: JOEL SILVER

PROJECT NAME: EAGLE VIEW RIDGE SUBDIVISION  
 SHEET TITLE: STORM WATER DRAINAGE PLAN (PER DEQ CIRCULAR 8)  
 PROJECT NO: 18-051  
 SHEET: 1 OF 1

FEB 0 2020

PREPARED BY: NATHAN LUCKE